



Department of Community Development  
Planning & Development

TO: \_\_\_\_\_ City Arborist, Dan Spoden  
\_\_\_\_\_ City Land/Zoning Department, Ben Walker/Greg Bokan  
\_\_\_\_\_ City Land/Zoning Department (Transportation), Brian Leckie  
\_\_\_\_\_ City Building Department, Eric Lowe  
\_\_\_\_\_ City Utility Department (Water/Sewer), Sung Chung  
\_\_\_\_\_ City Utility Department (Electric), Kevin Shriver  
\_\_\_\_\_ City Engineering Department (Transportation), John Keenan  
\_\_\_\_\_ City Engineering Department (Stormwater), John Keenan  
\_\_\_\_\_ City Fire Marshal, James Hartnett  
\_\_\_\_\_ City Police Department (CPTED), Amilcar Barahona  
\_\_\_\_\_ Economic Development Department, Patrick Small  
\_\_\_\_\_ Manassas Regional Airport, Richard Allabaugh  
\_\_\_\_\_ Manassas City Public Schools, Andy Hawkins  
\_\_\_\_\_ Prince William County – Planning Department

FROM: **Christian Samples, Senior Planner, Community Development**

DATE: **May 1, 2023**

RE: **SUP #2023-0007; REZ#2023-0005 and REZ#2023-0006: Independent Hills Congregation of Jehovah's Witnesses; 9828 and 9912 Cockrell Road**

The attached rezones and special use permit request are forwarded to you for your recommendations/comments. Your response will be provided to the applicant and addressed in the Community Development Department's staff report. All comments should go into Energov under SUP #2023-0007.

- ❖ To consider a special use permit to expand the use "Assembly, Place of (50 or more persons) at **9828 and 9912 Cockrell Road**; To consider a proffer amendment for 9912 Cockrell Road to remove the limitation on assembly size; To consider a rezoning for 9828 Cockrell Road from R-2 (Low Density, Single-Family Residential) to R-2S (Moderate Density, Single-Family Residential). 9912 Cockrell Road is zoned R-2S (Moderate Density, Single Family Residential) and 9828 Cockrell Road is zoned R-2 (Low Density, Single-Family Residential). Both properties are designated **Neighborhood Business** in the Comprehensive Plan.

Please use EnerGov to submit your comments by **May 22, 2023**. Reviewers without Energov access should submit their comments to [csamples@manassasva.gov](mailto:csamples@manassasva.gov).



# CITY OF MANASSAS, VIRGINIA

Community Development · 9800 Godwin Drive, Manassas, VA 20110 · 703-257-8223

SUP #: 2023-0007

DATE: 4/25/2023  
(Completed by City Staff)

## SPECIAL USE PERMIT APPLICATION

Site Address: 9912 / 9828 Cockrell Road Manassas, VA 20110

Street

Tax Map No(s): 101-01-00-2 and 101-01-00-15

Site Acreage: 1.69 and .47 Zoning District: R-2s and R-2

Comprehensive Plan Designation: Place of Worship / Residential

Proposed Use: Same use with extended parking lot on adjoining lot at 9828 Cockrell Rd. Increase sq ft of existing building at 9912 Cockrell for 2 Auditoriums.

This is an amendment to existing SUP #: 95-16 on 7/26/1995 & ordinance w/proffers #99-01 from 11/14/1998

### APPLICANT

Don Iarussi / Owner Representative

Name (Please Print)

Iarussi, Donald

Digitally signed by Iarussi, Donald  
DN: cn=Iarussi, Donald,  
email=DEIARUSS@bethel.jw.org  
Date: 2022.09.07 10:46:54 -04'00'

Signature

5607 Midlothian Turnpike

Address

Richmond VA 23225

City State Zip Code

303-859-1193 n/a

Phone # Fax #

ldcafpva@gmail.com

E-mail Address

### OWNER

(Leave Blank if Same as Applicant)

Don Iarussi / Owner Representative

Name

Independent Hills Congregation of Jehovah's Witnesses

Company

5607 Midlothian Turnpike

Address

Richmond VA 23225

City State Zip Code

303-859-1193 n/a

Phone # Fax #

ldcafpva@gmail.com

E-mail Address



# CITY OF MANASSAS, VIRGINIA

Community Development · 9800 Godwin Drive, Manassas, VA 20110 · 703-257-8223

REZ #: 2023-0006

DATE: 4/25/2023  
(Completed by City Staff)

## REZONING APPLICATION

---

Site Address: \_\_\_\_\_ Manassas, VA 20110  
Street

Tax Map No(s): \_\_\_\_\_

Site Acreage: \_\_\_\_\_ Zoning District: \_\_\_\_\_

Comprehensive Plan Designation: \_\_\_\_\_

Proposed Zoning: \_\_\_\_\_

This is a proffer amendment to existing REZ #: \_\_\_\_\_

### APPLICANT

### OWNER

(Leave Blank if Same as Applicant)

\_\_\_\_\_  
Name (Please Print)

\_\_\_\_\_  
Name

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Company

\_\_\_\_\_  
Address

\_\_\_\_\_  
Address

\_\_\_\_\_  
City State Zip Code

\_\_\_\_\_  
City State Zip Code  
23225

\_\_\_\_\_  
Phone # Fax #

\_\_\_\_\_  
Phone # Fax #

\_\_\_\_\_  
E-mail Address

\_\_\_\_\_  
E-mail Address



# CITY OF MANASSAS, VIRGINIA

Community Development · 9800 Godwin Drive, Manassas, VA 20110 · 703-257-8223

REZ #: 2023-0005

DATE: 4/25/2023  
(Completed by City Staff)

## REZONING APPLICATION

Site Address: 9912 Cockrell Road Manassas, VA 20110

Street

Tax Map No(s): 101-01-00-15

Site Acreage: 1.69 Zoning District: R-2s

Comprehensive Plan Designation: Place of Worship / Residential

Proposed Zoning: Same use with extended parking lot on adjoining lot at 9828 Cockrell Rd. Increase sq ft of existing building at 9912 Cockrell for 2 Auditoriums.

This is a proffer amendment to existing REZ #: 95-16 on 7/26/1995 & ordinance w/proffers #99-01 from 11/14/1998

### APPLICANT

Don Iarussi / Owner Representative

Name (Please Print)

Signature

5607 Midlothian Turnpike

Address

Richmond VA 23225

City State Zip Code

303-859-1193 n/a

Phone # Fax #

ldcafpva@gmail.com

E-mail Address

### OWNER

(Leave Blank if Same as Applicant)

Don Iarussi / Owner Representative

Name

Independent Hills Congregation of Jehovah's Witnesses

Company

5607 Midlothian Turnpike

Address

Richmond VA 23225

City State Zip Code

303-859-1193 n/a

Phone # Fax #

ldcafpva@gmail.com

E-mail Address



**CITY OF MANASSAS**  
 DEPARTMENT OF COMMUNITY DEVELOPMENT  
 PLANNING & DEVELOPMENT  
 9800 Godwin Drive  
 Manassas, VA 20110  
 Phone: 703-257-8278 Fax: 703-257-5831  
[www.manassasva.gov/Development](http://www.manassasva.gov/Development)  
 Email: [PermitStatus@ci.manassas.va.us](mailto:PermitStatus@ci.manassas.va.us)

**FOR STAFF USE ONLY**

SPECIAL USE PERMIT #: \_\_\_\_\_

QC PERFORMED BY: \_\_\_\_\_

DATE PERFORMED: \_\_\_\_\_

Will send prints/various forms upon email approval as per Christian Samples/AICP phone conversation 9/7/2022. PDF will be sent first to verify by email.

### SPECIAL USE PERMIT CHECKLIST

REQUIRED ACTIVITIES AND DOCUMENTS		
<b>Prior to formal application submittal, the following pre-application meetings have been held:</b>		
Pre-application meeting with staff	Pre-application meeting date <u>12/21/21</u>	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Completed traffic scoping meeting <span style="color: red;">Traffic Engineer - Nyika Roberson-Ramos attended Pre-Application meeting 12/21/21</span>	<span style="color: red;">Note: If transportation impact analysis is required, provide date and documentation of TIA waiver _____</span>	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
<b>Entire application submitted in PDF format and THREE printed copies (unless otherwise noted) (Z.O. 130-502):</b>		
Complete application (Z.O. 130-502.e)		<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Required affidavits ( <i>Conflict of Interest and Power of Attorney</i> ) (Z.O. 130-502.b)		<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
GDP plan (two 24" x 36" and one 11" x 17") (Z.O. 130-502.d)		<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Written Narrative (Z.O. 130-502.c)		<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Architectural renderings ( <i>if a new structure or addition proposed</i> ) (Z.O. 130-502.e)		<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Comprehensive Sign Plan ( <i>if sign ordinance waivers requested</i> ) (Z.O. 130-123.f)		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
DCSM Waivers ( <i>if requested</i> )		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Trip generation report or transportation impact analysis ( <i>if required at the pre-application meeting or documentation of TIA waiver</i> ) (Z.O. 130-502.g)		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Stormwater management documents (DCSM Article 4)		<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
<b>Fees:</b>		
Application fee paid (Z.O. 130-502.i)	<span style="color: red;">Application fee will be paid online when it is ready - with CC or other means requested.</span>	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Any delinquent taxes and fees have been paid (Z.O. 130-502.j)		<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO

## APPLICATION REQUIREMENT DETAILS:

Application materials shall meet the following minimum standards to be accepted. Modification may be granted for required application materials during the pre-application meeting.

### GDP Plan (Z.O. 130-503.d):

Scale (no less than 1 inch to 50 feet) and north point	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
General vicinity map providing information on existing street and cross street locations within one-quarter mile	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Delineation of area to be rezoned and/or subject to the SUP	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Parcel identification numbers, name, present zoning and use of abutting or contiguous parcels	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Existing easements and encumbrances (with date, book, and page number)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Proposed easements and encumbrances	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Existing and proposed utilities (electric, water, sewer and storm sewer)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Names of boundary roads or streets and width of existing rights-of-way	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Typical street sections, right-of-way improvements, access points, travel ways, and vehicle counts	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Proposed sidewalks, and trails including connections of sidewalks and pedestrian pathways within a ¼ mile of the project	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Tabulation of vehicle trip counts	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Layout, orientation, and/or details of buildings and/or improvements, including:	
Fencing	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Signs	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Trash enclosures or note if internal trash storage provided	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Height ( <i>must show both actual height of building and building height</i> )	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Setbacks and restriction lines	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Exterior lighting, including wall fixtures, ( <i>downshielded to prevent glare</i> )	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
If outdoor storage proposed, depicted activities, material, and location	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Parking:	
Include parking tabulation with number of required and proposed spaces	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Location of spaces ( <i>full size, compact and ADA</i> )	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Space dimensions	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Loading areas	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Location and number of bicycle racks or bicycle storage	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Landscaping:	
Landscaping calculations, including location and amount of tree canopy, parking lot landscaping, and landscape buffers	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Provide location and dimensions of any vegetated buffer areas along waterways and flood plains	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Overall tree canopy meets or exceeds City Code minimum requirements	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Parking lot tree canopy meets or exceeds City Code minimum requirements	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO

<b>Written Narrative (Z.O. 130-502.c):</b>	
A description of the proposed use, including scope and scale of the project	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
A statement on how the project complies with the Comprehensive Plan	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
An impact analysis listing potential impacts to adjacent and surrounding properties and how those impacts will be mitigated	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
A list of recommended conditions of approval	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
<b>Architectural Renderings (Z.O. 130-502.e):</b>	
Renderings must be a minimum of 24" x 36"	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Four-sided, full color, and fully dimensioned drawings drawn to scale	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Exterior finishes and colors and materials list. Architecture of proposed side elevations should be consistent with front elevation.	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
<b>Comprehensive Sign Plan (Z.O. 130-502):</b>	
Full color, fully dimensioned and scaled renderings of proposed signage	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Lighting information ( <i>exterior vs. interior illumination</i> )	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Wall signage must be shown on the prospective wall elevation and labeled with what direction the sign is facing	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Freestanding signage location must be shown on the GDP	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
List of specific code waivers and reasoning behind each waiver	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
<b>DCSM Waivers:</b>	
List of each specific DCSM waiver must be listed and the reasoning behind each waiver	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
<b>Trip Generation Report or Transportation Impact Analysis (DCSM 9-510):</b>	
The document shall meet the minimum requirements laid out in the traffic scoping meeting	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
<b>Stormwater Management (DCSM Article 4):</b>	
A graphic depicting the stormwater management facilities and approximate size along with limits of clearing and grading accommodate the stormwater management facilities, storm drainage pipe systems and outlet protection, pond spillways, access roads, site outfalls, energy dissipation devices, and stream stabilization measures.	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
If infiltration is proposed, the soils should be tested for suitability prior to submission of the application and the results of the infiltration test must be provided.	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Stormwater Management/BMP narrative including Virginia Runoff Reduction Spreadsheet and descriptions of how water quantity and water quality management practices requirements will be met.	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO

## Optional Items

*Recommended to Improve Quality of Application, Consistent with the Goals of the Comprehensive Plan.*

### Vegetation & Green Infrastructure:

Propose preservation of wetlands, flood plains, stream buffers, and slopes through conservation easements and similar methods integrating trails and passive recreation opportunities	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Drip irrigation system proposed for more than 50% of landscaping	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Native vegetation and plantings that support bee pollination proposed within the project	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Propose to preserve from all development and construction activity minimum of 40% of the greenfield area on the site (if such areas exist) and use native or adapted vegetation to restore 25% (including the building footprint) of all portions of the site identified as previously disturbed	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Proposed to protect, restore, and connect natural areas and enhance access to natural open space	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Propose green infrastructure to bridge green infrastructure gap identified on Map 8.1 of Chapter 8 of the Comprehensive Plan	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Propose location, material, and configuration of sustainable stormwater drainage areas, such as pervious pavers, green rooftops, rainwater harvesting, and passive rainwater management (rain garden; dry pond, bioswale)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO

### Air Quality and Energy

Propose location and specifications of any EV (electric vehicle) capable, EV ready, and EV supply equipment installed parking spaces	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Propose location and specifications of any rooftop solar panels, inverted wind turbines, or any other renewable energy systems installed on the project	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Provide list of any proposed green building practices and standards	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Propose any reusing of building materials	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

### Noise and Light Pollution

Describe use of any motion sensors and timers to prevent light pollution	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
For a drive-thru only: Screening is provided to prevent headlight glare onto adjacent properties	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Assessment of noise impact from airport and provide noise mitigation measures on residential projects (if within ½ mile of Manassas Regional Airport)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Assessment of noise impact and provide noise mitigation measures Within ½ mile of railroad, PW Parkway, commercial corridors, and collector/connectors.	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

### Mobility

Propose pedestrian amenities such as trees, shade, benches, water fountains, garbage and recycling cans.	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Propose ADA parking spaces that exceeds the minimum Federal requirements	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Provide location and number of any bicycle racks or bicycle storage within the project for bikes that exceed minimum code requirements. Provide number of any proposed shower rooms for employees.	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Provide minimum parking required and look for opportunities for pooled (shared) parking spaces with other building.	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Propose 5% of all parking spaces used by the project as preferred parking for green vehicles (hybrid, electric, etc.)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO



Propose preferred parking for carpools for 5% of the total parking spaces	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Propose EV capable, EV ready or EV supply equipment in at least 2% of total parking spaces	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
<b>Public Health</b>	
Propose outdoor space greater than City Code minimum requirements	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Provide list of local and regional parks (within and adjacent to the City) within ¼ mile of the project	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Show location of any proposed onsite exercise facilities such as outdoor recreation equipment and onsite indoor storage of recreational equipment such as bicycles and kayaks (this includes additional space, besides the garage and bedrooms, within a residential unit)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Provide list of grocery stores, food markets, and farmer's markets located within a ¼ mile of the project	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Assessment of noise impact and provide noise mitigation measures Within ½ mile of railroad, PW Parkway, commercial corridors, and collector/connectors.	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

Applicant Signature **Iarussi, Donald**

Digitally signed by Iarussi, Donald  
 DN: cn=Iarussi, Donald,  
 email=DEIARUSS@bethel.jw.org  
 Date: 2022.09.07 16:11:50 -04'00'

Date **9/7/2022**



# CITY OF MANASSAS, VIRGINIA

Community Development · 9800 Godwin Drive, Manassas, VA 20110 · 703-257-8223

CASE # \_\_\_\_\_  
(Completed by City Staff)

## CONFLICT OF INTEREST AFFIDAVIT

STATE OF Virginia

City \_\_\_\_\_ of Manassas, to wit:

Tax Map No. 101-01-00-2 and 101-01-00-15

Property Address: 9912 and 9923 Cockrell Road

I hereby certify that no member of the City Council or the Planning Commission of the City of Manassas, Virginia, has any interest in the above property, either individually, by ownership of stock in a corporation owning such land, or partnership, or as a holder of ten percent (10%) or more of the outstanding shares of stock in or as a director or officer of any corporation, owning such land, directly or indirectly by such member or members of his immediate household.

Donald Iarussi

Name of Representative

Independent Hills Congregation of Jehovah's Witnesses

Company Name

303-859-1193

Telephone

5607 Midlothian Turnpike, Richmond, VA 23225

Address

Donald Iarussi

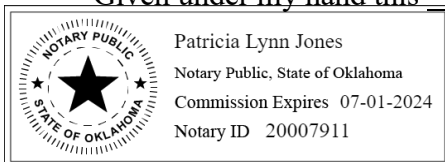
Signature of Representative

STATE OF Oklahoma

COUNTY OF Kay

I, Patricia Lynn Jones, a Notary Public in and for the State and County aforesaid, do hereby certify that Donald Iarussi whose name is signed to the foregoing, this day personally appeared before me in my State and County aforesaid and acknowledged the same.

Given under my hand this 07th day of September, 2022.




Notarized Online with NotaryLive.com  
My Commission expires: 07/01/2024

Patricia Lynn Jones  
Notary Public

ID: 20007911

This document is signed by

	<b>Signatory</b>	CN=Patricia Lynn Jones, DNQ=A01410D0000017EA1117C4D000150B5, O=Oklahoma, C=US
	<b>Date/Time</b>	Wed Sep 07 15:29:01 UTC 2022
	<b>Issuer-Certificate</b>	CN=IGC CA 1, OU=IdenTrust Global Common, O=IdenTrust, C=US
	<b>Serial-No.</b>	85078352371848989167946546018935288183
	<b>Method</b>	urn:adobe.com:Adobe.PPKLite:adbe.pkcs7.sh1 (Adobe Signature)



# CITY OF MANASSAS, VIRGINIA

Community Development · 9800 Godwin Drive, Manassas, VA 20110 · 703-257-8223

CASE # \_\_\_\_\_  
(Completed by City Staff)

## SPECIAL/LIMITED POWER OF ATTORNEY

THIS 7th day of September, 2022, I, Independent Hill Congregation of Jehovah's Witnesses, the owner of Tax Map Number 101-01-00-2 and 101-01-00-15, make, constitute and appoint Donald Iarussi, my true and lawful attorney-in-fact, and in my name, place and stead giving unto said Donald Iarussi full power and authority to do and perform all acts and make all representation necessary, without any limitation whatsoever, to make application for (circle one) **(Special Use Permit)**, **(Rezoning)**, **(Architectural Review Board)**, **(Board of Zoning Appeals)** in connection with the above described real property.

The right, powers and authority of said attorney-in-fact herein granted shall commence and be in full force and effect on September 7th, 2022, and shall remain in full force and effect thereafter until actual notice, by certified mail, return receipt requested is received by the Office of Community Development of the City of Manassas stating that the terms of this power have been revoked or modified.

Independent Hills Congregation of Jehovah's Witnesses  
Owners Representative - Donald Iarussi  
Owner's Name (Please Print)

Donald Iarussi

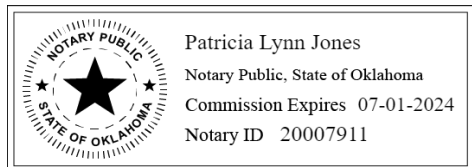
Owner's Signature

STATE OF Oklahoma

COUNTY OF Kay

I, Patricia Lynn Jones, a Notary Public in and for the State and County aforesaid, do hereby certify that Donald Iarussi whose name is signed to the foregoing, this day personally appeared before me in my State and County aforesaid and acknowledged the same.

Given under my hand this 07th day of September, 2022.



Notarized Online with NotaryLive.com


Patricia Lynn Jones

Notary Public

My Commission expires: 07/01/2024

ID: 20007911

This document is signed by

	<b>Signatory</b>	CN=Patricia Lynn Jones, DNQ=A01410D0000017EA1117C4D000150B5, O=Oklahoma, C=US
	<b>Date/Time</b>	Wed Sep 07 15:29:00 UTC 2022
	<b>Issuer-Certificate</b>	CN=IGC CA 1, OU=IdenTrust Global Common, O=IdenTrust, C=US
	<b>Serial-No.</b>	85078352371848989167946546018935288183
	<b>Method</b>	urn:adobe.com:Adobe.PPKLite:adbe.pkcs7.sh1 (Adobe Signature)

# Independent Hill Congregation of Jehovah's Witnesses

---

**Owner:** Independent Hill Congregation of Jehovah's Witnesses  
**Address:** 9912 Cockrell Road (including adjoining lot at 9828 Cockrell Road)  
**C/S/Z:** Manassas, VA 20110

**RE:** Special Use Permit and any additional permitting for Manassas Renovation Project.

<b>Agents:</b>	Don Iarussi	Lloyd Ntuk	Justin Biller
<b>Address:</b>	5607 Midlothian Tpke	8052 Nicosh Circle Lane	301 Timberlane Drive
<b>C/S/Z:</b>	Richmond, VA 23225	Falls Church, VA 22042	Mt. Holly, NC 28120

Aaron Good	Joel Watkins	Kevin Mitchell
376 W 11 <sup>th</sup> St.	507 East Daffodil Road	9506 Bonnie Dale Rd
Front Royal, VA 22630	Ruckersville, VA 22968	Henrico, VA 23229

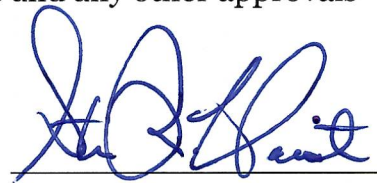
---

To whom it may concern:

By executing this affidavit, we, as the Trustees for the Independent Hill Congregation of Jehovah's Witnesses give our approval to Mr. Donald Iarussi, Mr. Lloyd Ntuk, Mr. Justin Biller, Mr. Aaron Good, Mr. Joel Watkins, and Mr. Kevin Mitchell to act as our Approved Agents in Prince William County. Mr. Iarussi, Mr. Ntuk, Mr. Biller, Mr. Good, Mr. Watkins, and Mr. Mitchell are all authorized to handle any and all documentation, to provide necessary signatures and any other approvals relating to Manassas Renovation Project.

  
Clyde Finger

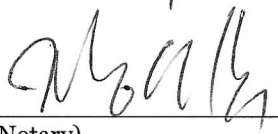
  
Keith Taylor

  
Steven Hairston

---

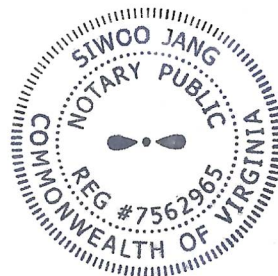
Subscribed before me on this date the

6<sup>th</sup> day of May, 2021.

  
(Public Notary)

My Commission expires on:

04/30/2021



## PROJECT NARRATIVE:

Address of Properties involved:

9912 Cockrell Road, Manassas, VA

- Current Auditorium/Parking Lot on 1.69 acres for the local congregations of Jehovah's Witnesses. Property has an approved SUP #95-16 dated 7/26/1995; and an Ordinance with proffers #99-01 dated 11/14/1998.

9828 Cockrell Road, Manassas, VA

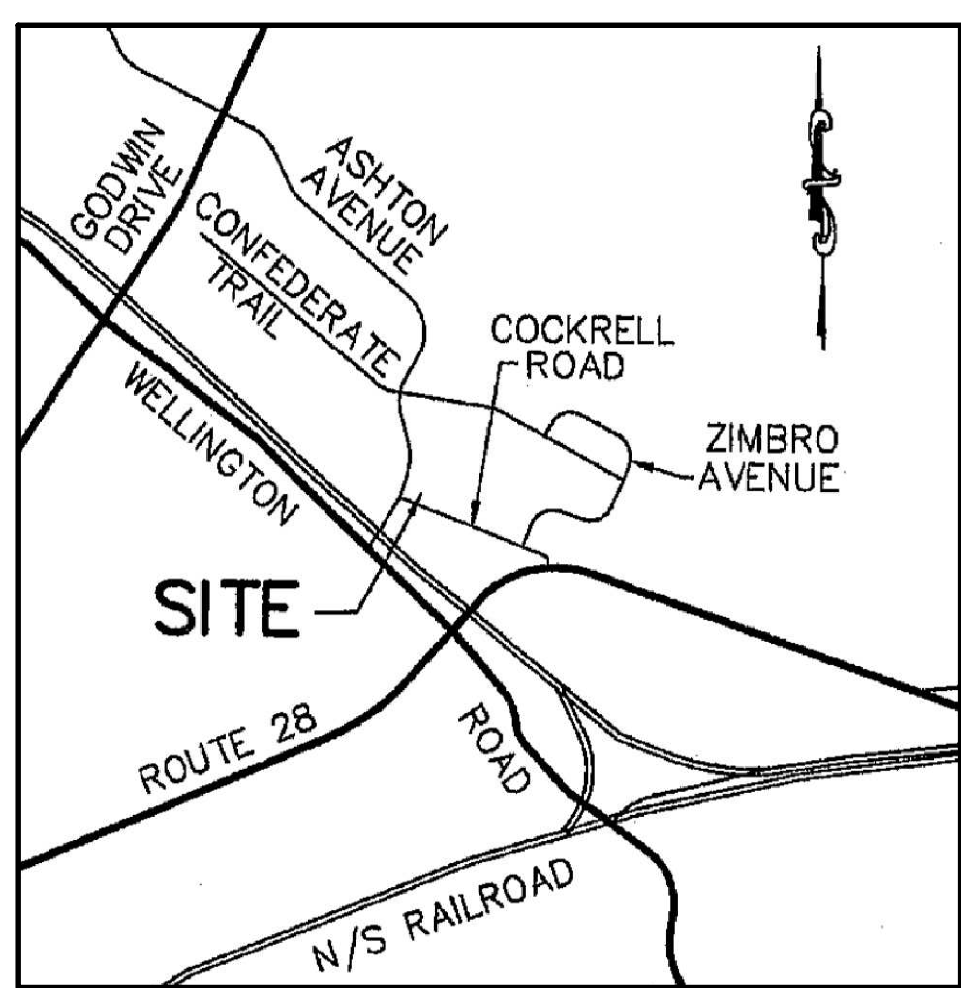
- Adjoining 0.47 acres property with no current buildings on the property.

## PROPOSED WORK:

The existing building contains one large auditorium with an entrance lobby and toilets. The proposed work will create two smaller auditoriums with separate entrance lobbies and toilets for each auditorium. The existing building will be extended along each ridge line to better utilize building space and create two separate auditoriums. Auditorium A will receive an approximately 12 feet extension/addition along the ridge line and Auditorium B will receive an approximately 29 feet extension/addition along the ridge line. No additional height increases will take place.. The new extensions will have minimal impact on the current building appearance from the neighborhood. The existing building finishes will be extended onto the new additions to minimize exterior visual impacts.

Additional parking for the building will be created on the adjoining lot at 9828 Cockrell Road. Appropriate setbacks, storm water management and screening will be included in the planning to provide minimal impact on the neighborhood. The existing traffic patterns/exits into the community will remain; no additional traffic patterns/exits will be created.

This area in Manassas is a prime location to care for the worship needs of the families who attend services. Additionally, the changes proposed will better utilize the building for smaller size congregations, as well as providing separate locations for the numerous languages who attend. Having only one auditorium, as it presently stands, impacts the potential and quality for the additional languages needed in the community. The proposed project will bring the current building up to a higher building standard relative to code and efficiency, without removing/replacing what has become a fixture in the existing neighborhood. This style of construction would also have a smaller impact on the environment and neighborhood by recycling and reutilizing the existing footprint of the building.



VICINITY MAP  
SCALE: 1" = 2,000'

**GENERAL DEVELOPMENT PLAN NOTES**

1. THE PURPOSE OF THIS APPLICATION IS TO EXPAND AN EXISTING ONE-STORY PLACE OF WORSHIP BY AN ADDITIONAL 1,912 S.F., 83 FIXED SEATS, AND 55 PARKING SPACES.
2. THE HOURS OF OPERATION SHALL BE BETWEEN THE HOURS OF 7:00PM AND 10:30 PM DURING THE WEEKDAYS AND 9:30 AM AND 6:00PM DURING THE WEEKENDS.
3. THE PROPOSED EXPANSION IS FULLY COMPATIBLE IN SCOPE & SCALE WITH THE EXISTING PLACE OF WORSHIP ON THE SUBJECT PARCEL, THE SURROUNDING COMMUNITY PARK TO THE NORTH, RESIDENTIAL DEVELOPMENT TO THE EAST, AND COMMERCIAL DEVELOPMENT TO THE SOUTH & WEST.
4. THE PROPOSED DEVELOPMENT WILL INCORPORATE A PERVIOUS PAVEMENT SYSTEM AND/OR TREE BOX FILTERS TO MEET STORMWATER MANAGEMENT AND BMP REQUIREMENTS. LANDSCAPE SCREENING IS PROPOSED ALONG THE NORTHERN & EASTERN BOUNDARY.
5. TOTAL DISTURBED AREA = 35,726.50 S.F.
6. TOTAL NEW IMPERVIOUS AREA = 17,254.91 S.F.
7. VEHICLE TURNING ANALYSIS FOR EMERGENCY VEHICLES HAS BEEN CONDUCTED BASED ON THE VEHICLE INFORMATION PROVIDED BY CITY OF MANASSAS. IT HAS BEEN CONFIRMED BY THE ENGINEER THESE EMERGENCY VEHICLES CAN MANUEVER PROPERLY WITHIN THE EXISTING AND PROPOSED PARKING LOT.

**PROJECT SUMMARY**

EXISTING USE: PLACE OF WORSHIP (CHURCH) / RESIDENTIAL  
PROPOSED USE: PLACE OF WORSHIP (CHURCH) / RESIDENTIAL

TOTAL AREA OF EXISTING BUILDING: 7,206 S.F.  
(INCL. EXISTING CHURCH, EXISTING APARTMENT, EXISTING GARAGE, AND EXISTING SHED)

REMOVED S.F. DWELLINGS: 208 S.F.  
AREA OF PROPOSED ADDITION: 1,912 S.F.  
AREA OF PROPOSED CANOPY: 285 S.F.  
TOTAL BUILDINGS: S.F. 9,195 S.F.

EXISTING PARKING: 70 SP  
REMOVED PARKING: 14 SP  
ADDITIONAL PARKING: 51 SP  
TOTAL PARKING: 105 SP (75 REQUIRED FOR 299 FIXED SEATS)

EXISTING HANDICAP PARKING: 3 SP  
ADDITIONAL HANDICAP PARKING: 2 SP  
TOTAL HANDICAP PARKING: 5 SP

**ZONING REFERENCE NOTES**

1. THE SITE IS SUBJECT CONDITIONS OF SPECIAL USE PERMIT (SUP) #95-16 GRANTED ON JULY 26, 1995.
2. THE SITE IS SUBJECT TO PROFFER CONDITIONS FROM REZONING #99-01.

**TREE COVER SUMMARY**

SITE AREA = 94,757 S.F.  
20% REQUIREMENT FOR R-2 ZONE: 18,951 S.F.  
EXIST. CANOPY TO REMAIN: 9,775 S.F.  
REQUIRED PLANTING: 9,177 S.F.  
PLANTING PROVIDED: 9,225 S.F.  
TOTAL CANOPY AREA: 19,000 S.F.

**DRAWING INDEX**

- C-100 SITE PLAN
- C-101 EXISTING CONDITIONS PLAN
- C-102 DRAINAGE PLAN
- C-103 LANDSCAPE PLANTING PLAN
- A-100 INTERIOR FLOOR PLAN
- A-101 EXTERIOR ELEVATIONS

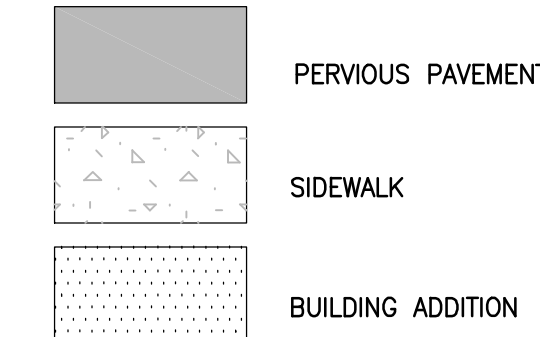
**SHEET KEYNOTES**

1. CITY OF MANASSAS CURB & GUTTER (DRY GUTTER).
2. VDOT CG-12, TYPE A CURB RAMP.
3. 5' CONCRETE SIDEWALK.
4. EXIST. LIGHT POLE TO REMAIN IN PLACE.
5. LIGHT POLE W/CONCRETE BASE.
6. BOLLARD TYP.
7. STRIPING, TYP.
8. DIRECTION ARROW MARKING, TYP. (FOR INFORMATION ONLY, DO NOT STRIPE).
9. LIMITS OF DISTURBANCE.
10. EXIST. UTILITIES TO REMAIN UNDISTURBED.
11. PROPOSED SANITARY SEWER EXTENSION.

**GENERAL SHEET NOTES**

1. ALL HANDICAPPED SPACES SHALL CONFORM WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT.
2. ALL SIGNS WILL MEET THE LOCATION & SIZING REQUIREMENTS OF THE CITY OF MANASSAS ZONING ORDINANCE.
3. ALL PARKING AND TRAVELWAY AREAS ARE TO BE PRIVATELY MAINTAINED.
4. REFUSE RECEPTACLES SHALL BE PROVIDED WITHIN THE EXISTING BUILDING. THE COLLECTED REFUSE SHALL BE DISPOSED OF AFTER EACH MEETING. NO EXTERIOR REFUSE RECEPTACLES ARE PROVIDED OR REQUIRED FOR THE PROPOSED USE.
5. NO LOADING SPACES ARE REQUIRED, NOR PROVIDED FOR THE PROPOSED USE.
6. ANY VEGETATION AFFECTING SIGHT DISTANCE SHALL BE REMOVED. CLEARING WITHIN THE RIGHT-OF-WAY SHALL BE COORDINATED WITH THE CITY OF MANASSAS INSPECTION DEPARTMENT.

**PAVEMENT LEGEND**

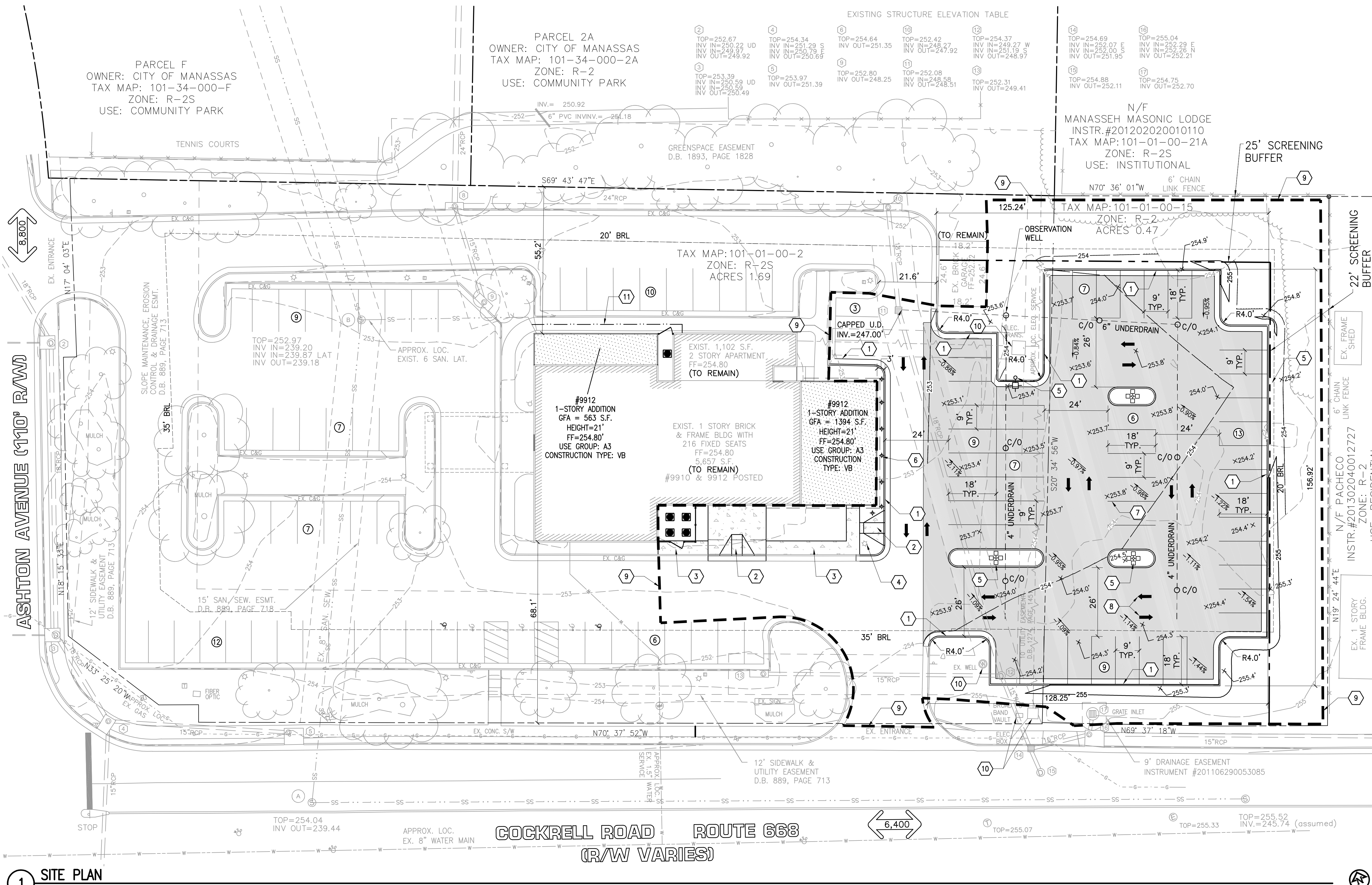


**ACCESSIBILITY NOTES**

1. FINISHED SURFACES SUCH AS ALL PAVING, SIDEWALKS AND RAMPS IN ACCESSIBLE AREAS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF MANASSAS, VA. ACCESSIBILITY STANDARDS. ACCESSIBLE ROUTES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING:
  - A. PARKING AND LOADING AREAS - MAXIMUM SLOPE OF 1:50 (2%) IN ALL DIRECTIONS IN ACCESSIBLE PARKING SPACES AND AISLES.
  - B. ACCESSIBLE ROUTES - MAXIMUM SLOPE OF 1:20 (5%) IN ALL DIRECTION OF TRAVEL. MAXIMUM CROSS SLOPE OF 1:50 (2%).
  - C. BUILDING ENTRANCES AND EXITS - AT ALL LOCATIONS 5'x5' (MINIMUM) ACCESSIBLE, CONCRETE WALK WITH A MAXIMUM SLOPE OF 1:50 (2%) IN ALL DIRECTIONS.

**ABBREVIATIONS**

AC	ACRES
AHJ	AUTHORITY HAVING JURISDICTION
APPROX	APPROXIMATE
BC	BOTTOM OF CURB
BLDG	BUILDING
BOT	BOTTOM
BOW	BOTTOM OF WALL
CB	CATCH BASIN
CIP	CAST IRON OR CURB INLET
C/L	CAST-IN-PLACE
CO	CENTER LINE
COMM	CLEAN OUT
COMM	COMMUNICATIONS
CONC	CONCRETE
CTR	CENTER
CU YD OR CY	CUBIC YARD
D	DEPTH
DBL	DOUBLE
DEG	DEGREES
DEM	DEMOLITION
DI	DIAMETER
DR	DRAIN
DWG	DRAWING
EA	EAST OR ELECTRIC
EL	ELEVATION
ELEC	ELECTRICAL
EM	ELECTRIC METER
EOP	EDGE OF PAVEMENT
EXIST OR EX.	EXISTING
FD	FLOOR DRAIN OR FOOTING DRAIN
FDN	FOUNDATION
FF	FINISHED FLOOR
FP	FIRE PROTECTION
FT	FEET
FTG	FOOTING
GAL	GALLON
GM	GAS METER
GND	GROUND
GV	GAS VALVE
HDPE	HIGH-DENSITY POLYETHYLENE
ID	INSIDE DIAMETER
IN	INVERT ELEVATION
INV	INVERT
L	LENGTH
LF	LINEAR FEET
LPG	LIQUID PROPANE GAS
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
MISC	MISCELLANEOUS
N	NORTH
NPW	NON-POTABLE WATER
ON CENTER	ON CENTER
OD	OUTSIDE DIAMETER
OVHD	OVERHEAD
PL	PROPERTY LINE
PSI	POUNDS PER SQUARE INCH
PWR	POWER
RAD	RADIUS
RCP	REINFORCED CONCRETE PIPE
RD	ROOF DRAIN
REF	REFERENCE
REINF	REINFORCED OR REINFORCING
S	SOUTH OR SANITARY
SAN	SANITARY
SCH	SCHEDULE
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SPEC	SPECIFICATION
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
STD	STANDARD
SWK	SIDEWALK
TC	TOP OF CURB
TD	TRENCH DRAIN
TYP	TYPICAL
UGND	UNDERGROUND
UTIL	UTILITIES
UP	UTILITY POLE
VOL	VOLUME
W	WEST OR POTABLE WATER OR WIDTH



1 SITE PLAN

PROFESSIONAL ENGINEER

LLOYD A. NTUK, PE  
8052 NICOSH CIRCLE  
FALLS CHURCH, VA 22042  
(703) 507-6586

CONSULTANT:

**NOT FOR CONSTRUCTION**  
THIS DRAWING PROVIDED ONLY FOR **SITE PLANNING PURPOSES**

04 JUL 22 SUP PACKAGE

MARK: DATE: DESCRIPTION:

OWNER:

9912 COCKRELL ROAD  
MANASSAS, VA 20110

PROJECT TITLE:

**MANASSAS, VA KINGDOM HALL REMODEL**  
9912 COCKRELL ROAD  
MANASSAS, VA 20110

SHEET TITLE:

**SITE PLAN**

PROJECT No. 25304

SHEET No. **C-100**









**NOT FOR CONSTRUCTION**  
 THIS DRAWING PROVIDED ONLY FOR  
**SITE PLANNING PURPOSES**

04 JUL 22	SUP PACKAGE
MARK:	DATE:
	DESCRIPTION:

OWNER:

9912 COCKRELL ROAD  
 MANASSAS, VA 20110

PROJECT TITLE:

**MANASSAS, VA KINGDOM HALL REMODEL**  
 9912 COCKRELL ROAD  
 MANASSAS, VA 20110

SHEET TITLE:

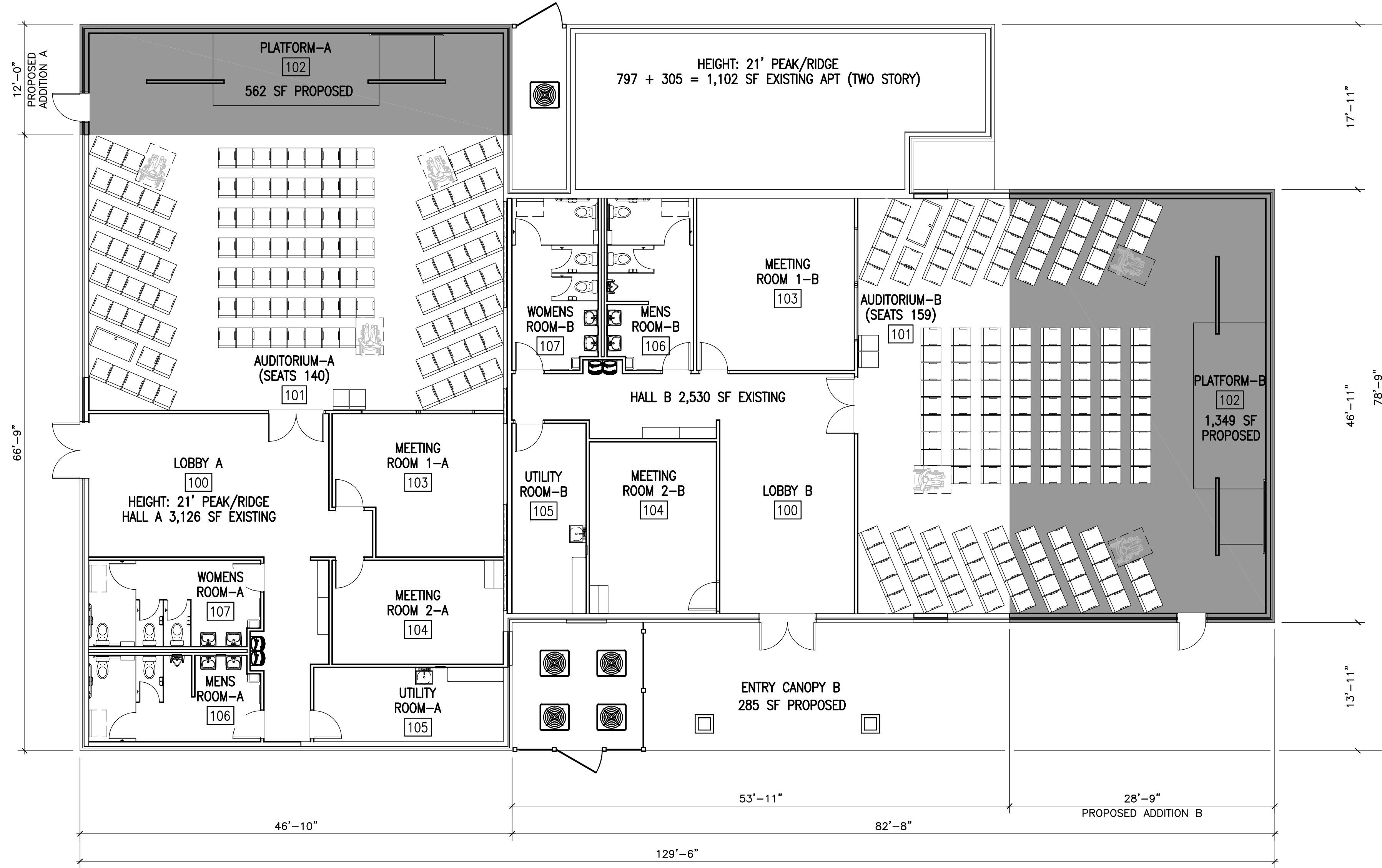
**PRELIMINARY CONCEPT ARCHITECTURAL PLAN**

PROJECT No.

**25304**

SHEET No.

**A-100**



**1 ARCHITECTURAL PLAN - FLOOR**

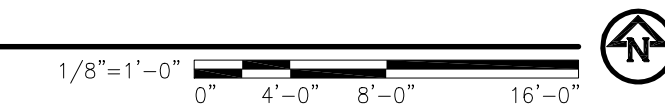


IMAGE: ###  
 XREF: ###  
 IMAGE: ###  
 XREF: ###  
 IMAGE: ###  
 XREF: ###  
 IMAGE: ###  
 XREF: ###

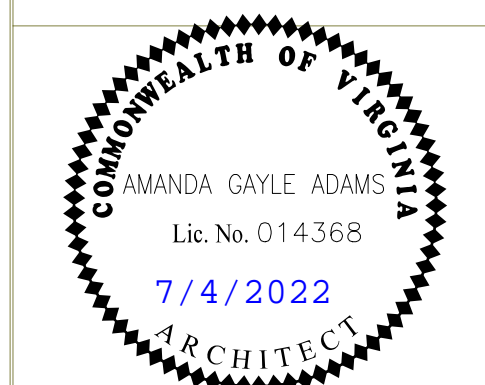
Design:\Preliminary\CAD\04\_Architectural\25304\REF\ARCHITECTURAL\_PLAN.dwg

Design:\25304-VA\_Manassas\9912\_Cockrell\_Rd\_Manassas\_VA\_9912\_Cockrell\_Rd\_Manassas\_VA.dwg

PLOTTED BY: shorr  
 DSN\DRFT: SHARRON PARKER  
 DIMSCALE: 48,0000  
 FILE PATH: C:\Users\shorr\OneDrive\Manassas\9912\_Cockrell\_Rd\_Manassas\_VA\_9912\_Cockrell\_Rd\_Manassas\_VA.dwg

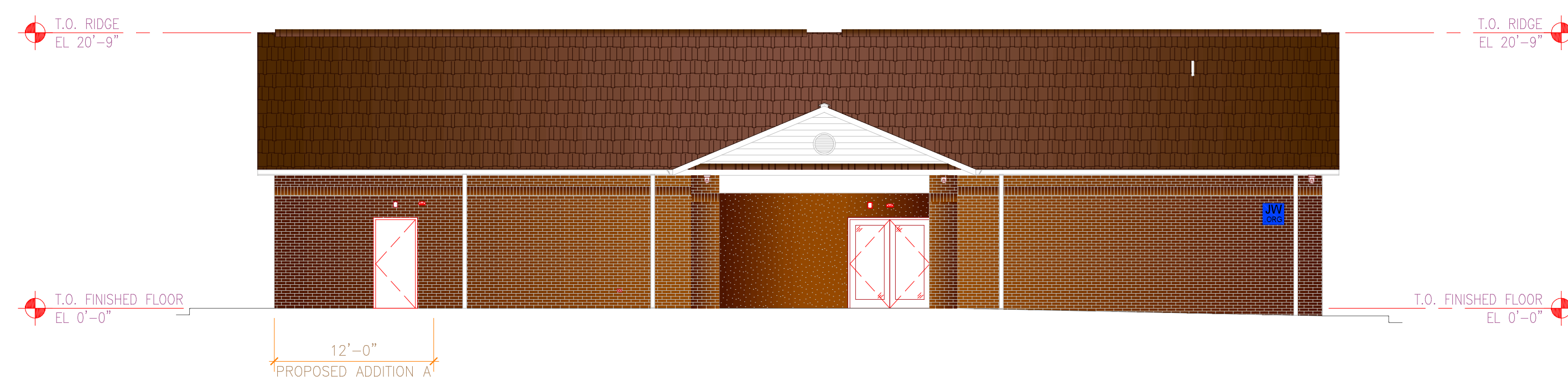
ARCHITECT

AMANDA G. ADAMS, RA  
103 PARKVIEW DRIVE  
LYNCHBURG, VA 24502  
(434) 426-1552

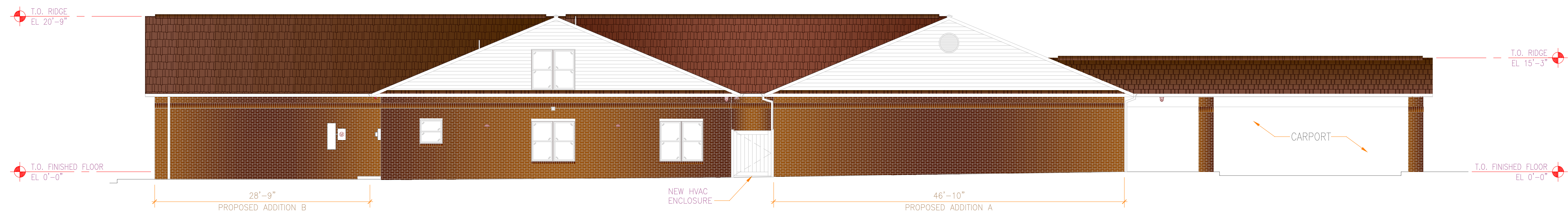
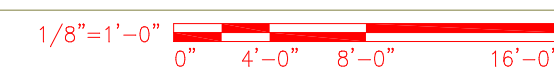


CONSULTANT:

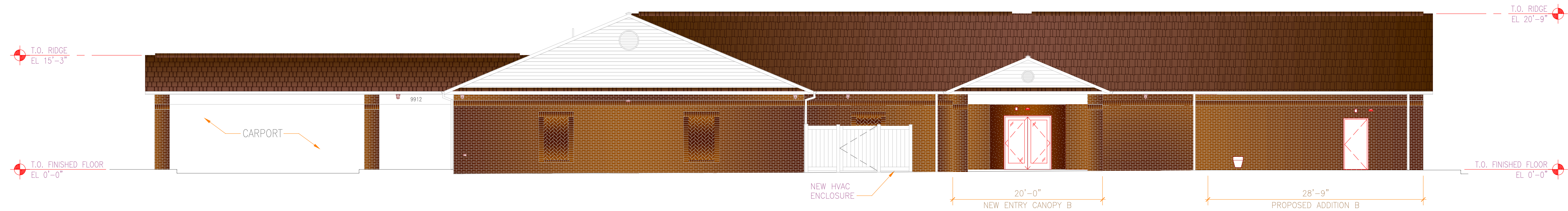
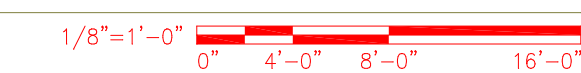
**NOT FOR CONSTRUCTION**  
THIS DRAWING PROVIDED ONLY FOR  
**SITE PLANNING PURPOSES**



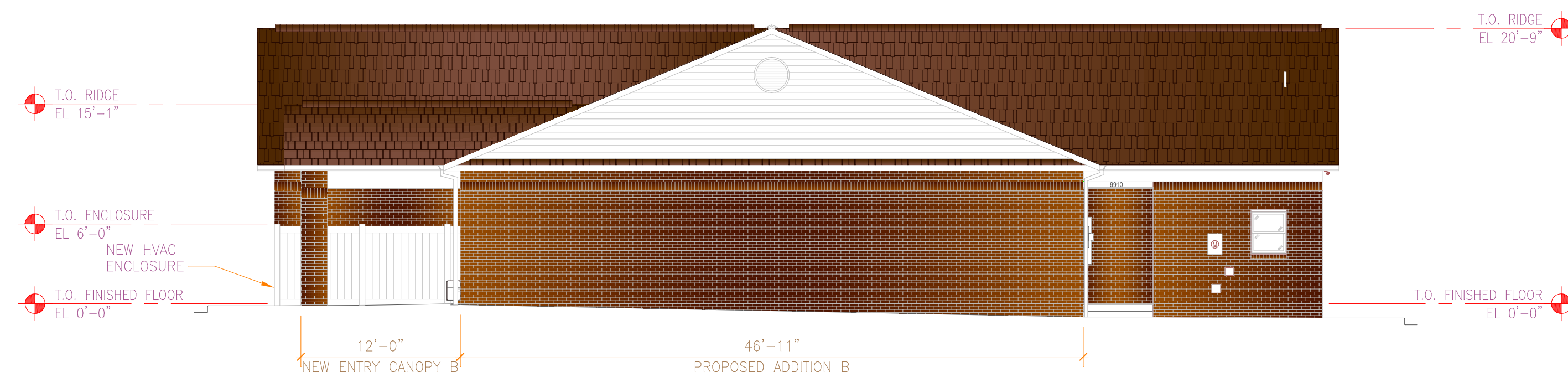
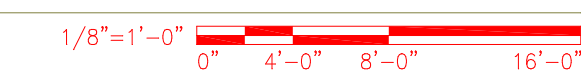
A ELEVATION - EXTERIOR FRONT



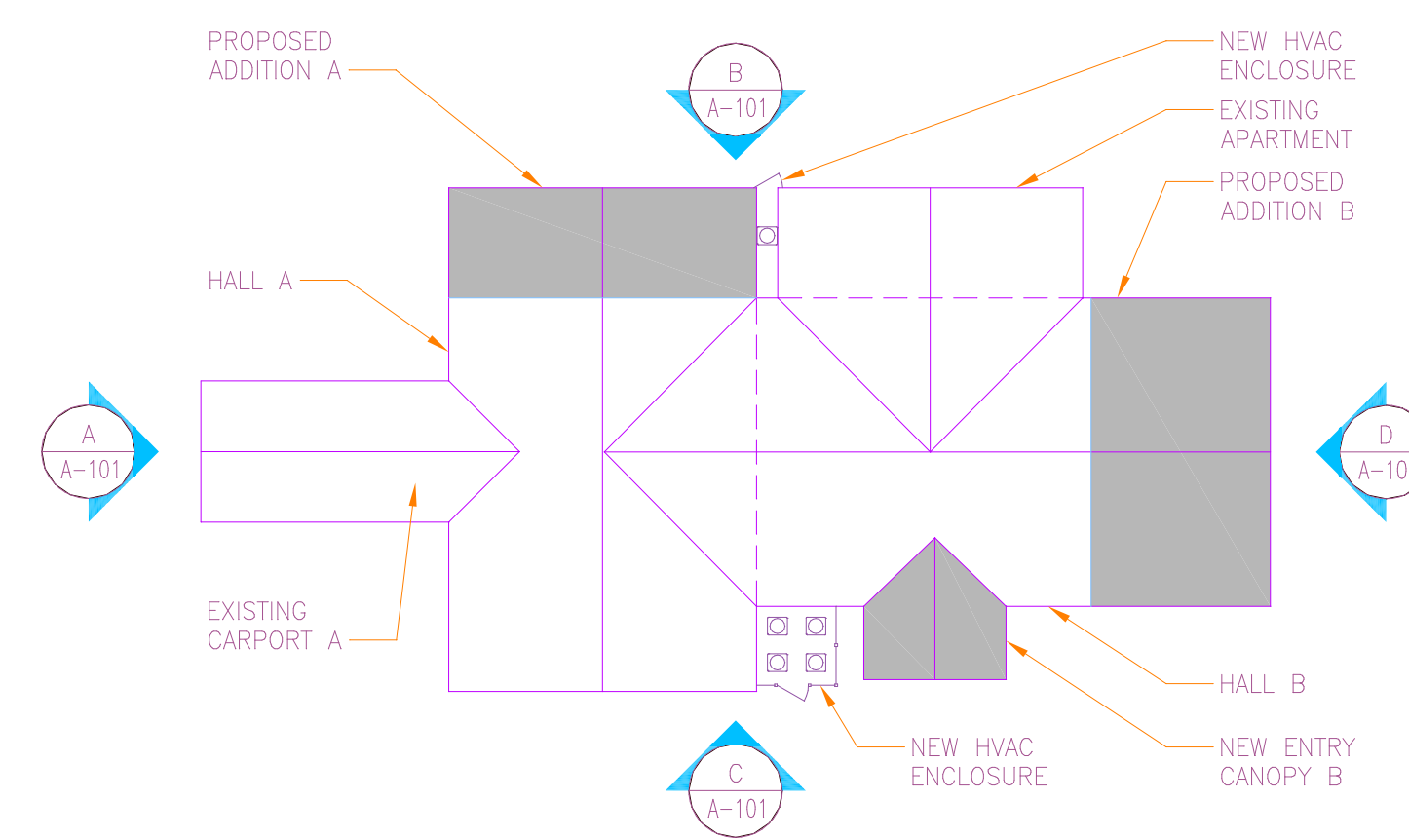
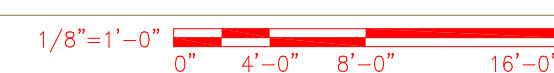
B ELEVATION - EXTERIOR LEFT



C ELEVATION - EXTERIOR RIGHT



D ELEVATION - EXTERIOR REAR



1 KEY PLAN

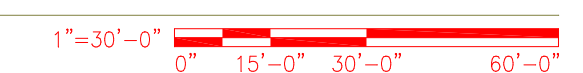


IMAGE ###  
IMAGE ###  
IMAGE ###  
IMAGE ###  
IMAGE ###

XREF: ###  
XREF: ###  
XREF: ###  
XREF: ###  
XREF: ###

XREF: ###  
XREF: ###  
XREF: ###  
XREF: ###  
XREF: ###

PLotted DATE: 4 Jul 22  
DIMSCALE: 1/8\"/>

FILE PATH: C:\Users\shorr\Watchtower\USQ2904 - 9912 Cockrell Rd, Manassas, VA - Design\25304-VA Manassas 9912 Cockrell Road\25304-VA Manassas 9912 Cockrell Road\Exterior Render Elevations.dwg

04 JUL 22 SUP PACKAGE

MARK: DATE: DESCRIPTION:

OWNER:

9912 COCKRELL ROAD  
MANASSAS, VA 20110

PROJECT TITLE:  
MANASSAS, VA  
KINGDOM HALL REMODEL  
9912 COCKRELL ROAD  
MANASSAS, VA 20110

SHEET TITLE:

EXTERIOR RENDER  
ELEVATIONS

PROJECT No. 25304

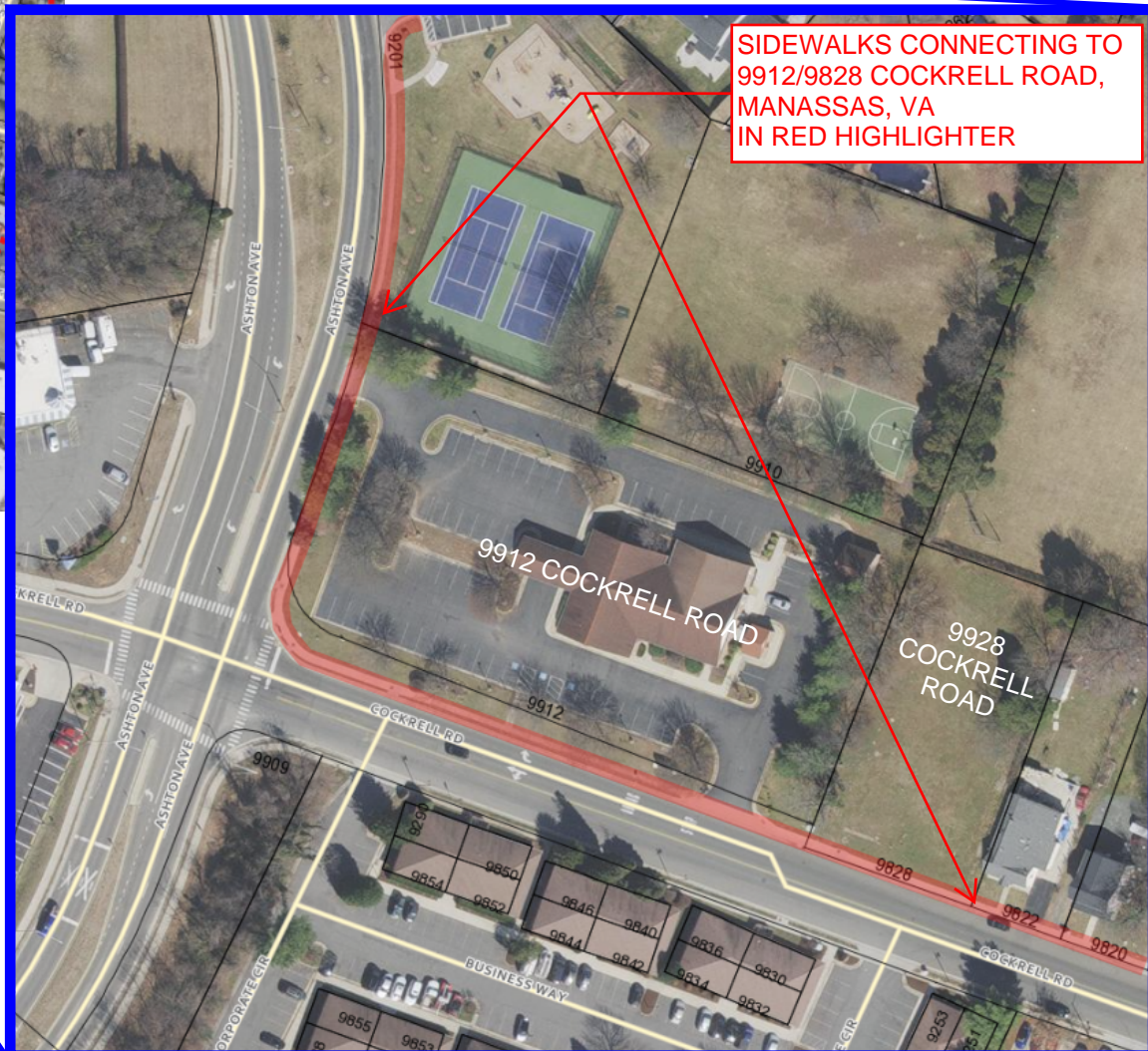
SHEET No.

A-101

**MAP OF EXISTING SIDEWALKS  
WITHIN 1/4 MILE OF  
9912/9828 COCKRELL ROAD,  
MANASSAS, VA  
THAT CONNECT TO THE  
PROPERTIES**



1/4 MILE CIRCLE FROM  
CENTER OF BUILDING AT  
9912/9828 COCKRELL ROAD,  
MANASSAS, VA



SIDEWALKS CONNECTING TO  
9912/9828 COCKRELL ROAD,  
MANASSAS, VA  
IN RED HIGHLIGHTER

# 9912/9828 Cockrell Road, Manassas, VA - Trip Generation Report 12/15/2023

LAND USE	ITE CODE	AMOUNT	UNITS	WEEKDAY									SUNDAY		
				ADT	AM PEAK HOUR			PM PEAK HOUR			SUNDAY PEAK HOUR				
					IN	OUT	TOTAL	IN	OUT	TOTAL	IN	OUT	TOTAL		
<b>Existing Building</b>															
Place of Worship (Church)	560	216	Seats	184	9	6	15	10	12	22	45	48	93		
<b>Proposed Expansion</b>															
Place of Worship (Church)	560	299	Seats	261	13	8	21	13	17	30	67	70	137		
<b>Net Difference - Trips</b>				77	4	2	6	3	5	8	22	22	44		
<b>% Difference</b>				41.9%	38.5%	38.4%	38.4%	30.0%	45.7%	38.4%	48.9%	46.1%	47.5%		

SOURCE: Institute of Transportation Engineers' *Trip Generation Manual* 11th Edition (2021)

**CITY OF MANASSAS  
SPECIAL USE PERMIT  
APPLICATION AND APPROVAL FORM**

DATE: 4/17/95  
FILE NO: SUP # 95-16  
TAX MAP: 101 -(( 01 ))- 000-002

To: The Mayor and Manassas City Council

I (We) IBM MANASSAS EMPLOYEES FEDERAL CREDIT UNION, do hereby  
OWNER OF RECORD

submit this request in accordance with Section 34-111(b) of the Manassas City Code of Ordinances, a special use permit to:

Permit the operation of a church "Kingdom Hall" with a seating capacity of approximately 227 persons.

(State specifically all activities and materials required by this proposed use, attach additional pages if necessary.)

Mail Correspondence to:

RAMCO, INC. JACKIE UNTHANK  
3900 JERMANTOWN ROAD, SUITE 300  
FAIRFAX, VA 22030  
( 703 ) 934-4606

BERNARD P. HIRMER  
OWNER/AGENT  
12512 KAHNS ROAD  
ADDRESS  
MANASSAS, VA 22111  
( 703 ) 791-2113  
PHONE

**OFFICE USE ONLY**

This application having been processed according to the provision of the City of Manassas Code of Ordinances, and has been reviewed and found to be in conformance with the intent of the City Zoning Ordinance was approved by the

Manassas City Council on June 26, 19 95.  
Subject to the conditions and restrictions as specified; to wit:

Please see attached page for operating conditions.

DATE ISSUED: \_\_\_\_\_

\_\_\_\_\_  
ZONING ADMINISTRATOR



RESOLUTION

C1861

RESOLUTION #R-95-176  
REGULAR COUNCIL MEETING  
July 10, 1995

RE: SUP #95-16, Independent Hill Congregation of Jehovah's Witnesses

WHEREAS, Independent Hill Congregation of Jehovah's Witnesses has applied for SUP 95-16 to allow operation of a church in the B-4 zoning district on property located at 9912 Cockrell Rd.; and

WHEREAS, the Community Development staff has reviewed the application and **RECOMMENDS APPROVAL** subject to specific conditions; and

WHEREAS, the City Planning Commission held a public hearing on June 7, 1995 after full compliance with all state code public hearing notice, notification, and posting requirements and **RECOMMENDED APPROVAL** on June 7, 1995 subject to specific conditions; and

WHEREAS, the Manassas City Council held a public hearing on June 19, 1995 after full compliance with all state code public hearing notice, notification, and posting requirements; and

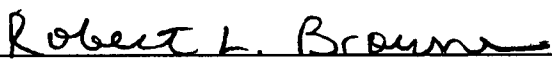
WHEREAS, among the purposes of zoning called out in Chapter 15.1-489 of the Code of Virginia is "...to facilitate the provision of...other public requirements..."; and the operation of a church is such a requirement; and

WHEREAS, among the matters to be considered in drawing and applying zoning ordinances and districts called out in Chapter 15.1-490 of the Code of Virginia is "...the requirements for...public services..."; and

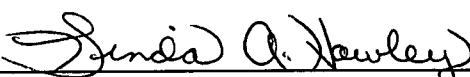
WHEREAS, the City Council upon mature consideration finds that approval of SUP 95-16 is justified by public necessity and convenience and general welfare and is consistent with reasonable zoning practices, and that the cumulative effect of the activity proposed will not be detrimental to the character and development of the adjacent land and is in reasonable harmony with the City's land use plan; and

WHEREAS, the Council finds that a comprehensive list of conditions and safeguards can eliminate or mitigate the impacts of the proposed development sufficient to justify approval.

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Manassas meeting in regular session this 10th day of July 1995, that SUP 95-16 is hereby **APPROVED** subject to the conditions specified on the attached page(s).

  
Robert L. Browne Mayor  
On behalf of the City Council  
of Manassas, Virginia

ATTEST:

  
Linda A. Hawley City Clerk

1. The activities allowed under the permit shall be limited to religious activities only. Non-religious services including, but not limited to, day care services, schools, or other projects such as "food closets" and "feeding the homeless" shall be prohibited.
2. All activities shall be conducted inside the building.
3. Exterior chimes, bells, loud speakers, or other forms of amplified audio systems shall not be permitted.
4. The height, to the top of the fixture, of any freestanding parking lot lights shall not exceed 24 feet from grade and shall be equipped with box type light fixtures which direct light downward and inward to prevent light spill-over onto adjacent properties. All exterior lighting attached to the building shall also be so arranged and shielded.
5. A buffer strip shall be provided along all four sides of the property in accordance with the generalized development plan dated April 10, 1995. Screening shall be provided and perpetually maintained in the north and east buffer areas. Screening shall be at least six feet in height and consist of an opaque fence or evergreen trees providing year-round screening. Landscaping, to be determined at the time of site plan approval, shall be provided in the south and west buffer area.
6. Street frontage improvements, including an entrance at the east end of the property on Cockrell Rd., and other on-site improvements to be determined at the time of site plan approval, shall be constructed prior to occupancy.
7. The activity allowed under this permit shall comply with all applicable federal, state, and local regulations.





**ORDINANCE # 0-99-1**

First Reading: September 28, 1998  
Second Reading: October 15, 1998  
Enacted: October 15, 1998  
Effective: November 14, 1998

**RE: REZ: #99-01 - Trustees of the Manassas Congregation of Jehovah's Witnesses**

**WHEREAS**, the Trustees of the Manassas Congregation of Jehovah's Witnesses has applied for REZ # 99-01, to rezone 1.7 acres from B-4, General Commercial to R2-S, Single Family Residential, on property located at 9912 Cockrell Road; and

**WHEREAS**, the Community Development staff has reviewed the application and **RECOMMENDS APPROVAL**; and

**WHEREAS**, the City Planning Commission held a public hearing on September 2, 1998, after full compliance with all state code public hearing notice, notification, and posting requirements and **RECOMMENDED APPROVAL** as proffered on September 2, 1998; and


**WHEREAS**, the City Council of the City of Manassas held a public hearing on September 21, 1998 after full compliance with all state code public hearing notice and requirements; and

**WHEREAS**, among the purposes of zoning called out in Chapter 15.2-2283 of the Code of Virginia is: to "...facilitate the creation of a convenient, attractive, and harmonious community"; and

**WHEREAS**, among the matters to be considered in drawing and applying zoning ordinances and districts called out in Chapter 15.2-2284 of the Code of Virginia is: "...the suitability of property for various uses"; and

**WHEREAS**, the City Council upon mature consideration finds that approval of REZ # 99-01 is justified by public necessity and convenience and general welfare and is consistent with reasonable zoning practices, and that the cumulative effect of the activities permitted with this rezoning will not be detrimental to the character and development of the adjacent land and is in reasonable harmony with the City's land use plan,

**NOW THEREFORE, BE IT ORDAINED** by the Council of the City of Manassas, Virginia, meeting in regular session this the 28<sup>th</sup> day of September 1998, that **REZ # 99-01** is hereby **APPROVED** and accepts the attached proffers.

  
Marvin L. Gillum Mayor  
On behalf of the City Council  
of Manassas, Virginia

ATTEST:  
  
Alwilda C. Merritt City Clerk

PROFFER STATEMENT  
REZONING # 99-01

TRUSTEES OF THE MANASSAS CONGREGATION OF JEHOVAH'S WITNESSES

Dated: September 8, 1998

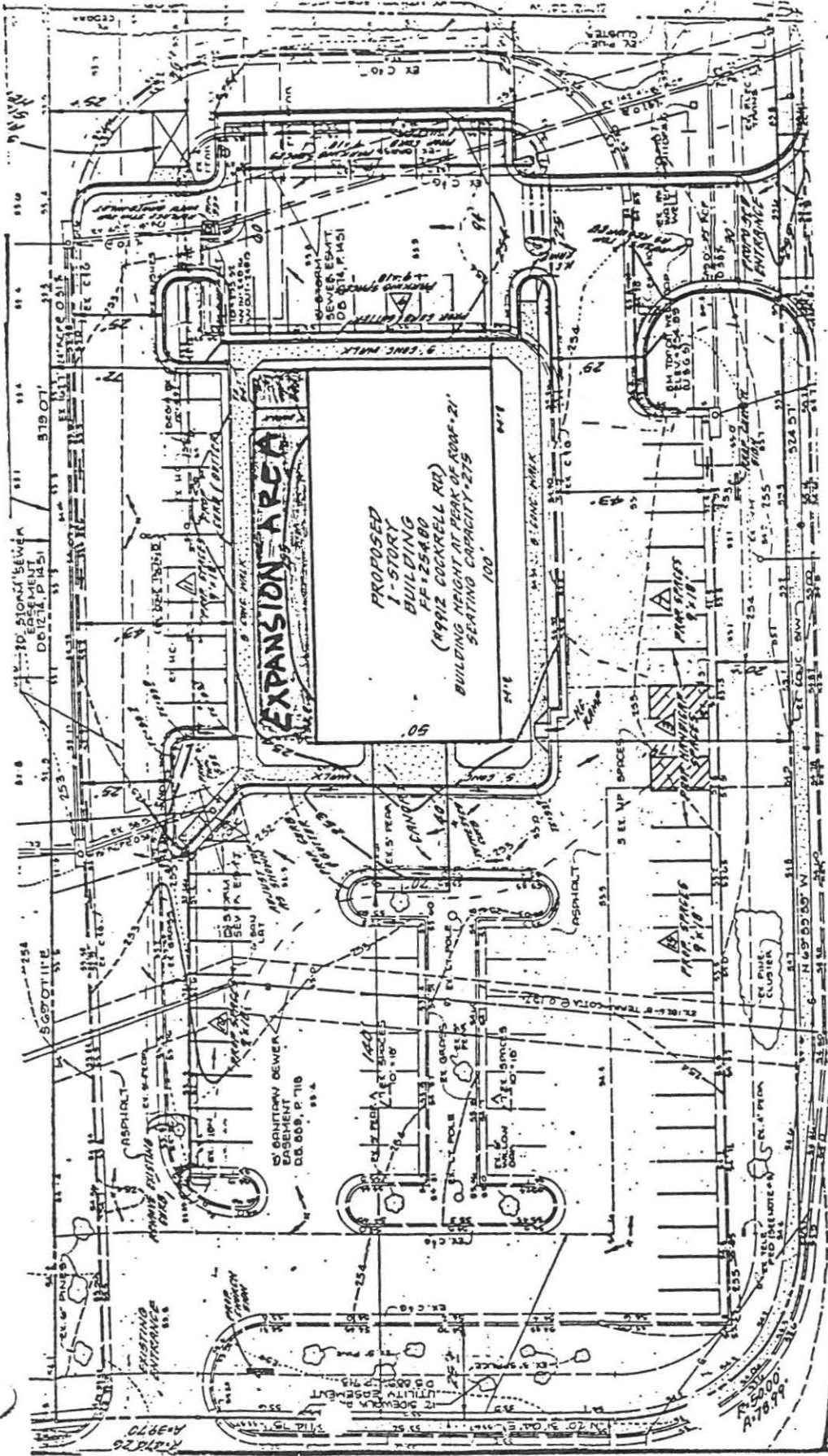
I hereby proffer that the development of the subject property shall be in strict accordance with the conditions set forth in this submission, unless an amendment thereto is mutually agreed upon by the City Council and the undersigned.

These proffers supersede any and all previous proffers submitted to the City prior to the above date.

1. The use of the subject property shall be limited to the Church and associated uses.
2. A single apartment unit, when constructed contiguous to the existing main structure, may be occupied solely by a member of the Church.
3. The maximum hours of operation for the church shall be between the hours of 8:00 a.m. and 10:30 p.m. daily.
4. The maximum seating capacity of the church shall be 275.
5. Use of the property shall not include exterior chimes, bells, loud speakers, or other forms of amplified audio systems.
6. All activities shall be conducted inside the building.
7. The maximum height of the building shall be limited to the restrictions of the R-2S zone: 35 feet.
8. The height, to the top of the fixture, of any freestanding parking lot lights shall not exceed 24 feet from grade, and shall be equipped with box type light fixtures which direct light downward and inward to prevent light spill-over onto adjacent properties. All exterior lighting attached to the building shall also be so arranged and shielded.
9. The expansion area shall be limited to that area depicted on Exhibit B.
10. A buffer strip shall be provided along all four sides of the property in accordance with the GENERALIZED DEVELOPMENT PLAN dated April 10, 1995. Screening shall be provided and perpetually maintained. In the north and east buffer areas, screening shall be at least six feet in height and consist of an opaque fence or evergreen trees providing year round screening. Landscaping shall be provided in the south and west buffer zones.

Exhibit A

  
\_\_\_\_\_  
Mathew Hicks



COCKRELL ROAD

Ashton Avenue



OWNER: CITY OF MANASSAS  
TAX MAP: 101-34-000-F  
ZONE: R-2S

OWNER: CITY OF MANASSAS  
TAX MAP: 101-01-000-2A  
ZONE: R-2

CURVE DATA  
 $\Delta = 04^{\circ}47'49''$   
 $R = 474.26'$   
 $T = 19.86'$   
 $A = 39.71'$   
 $CH. = 39.69'$   
 $CH. BR. =$   
 $N 18^{\circ}07'10'' E$

114.75'

55'

55'

ASHTON AVENUE

(110' R/W)

N 20°31'04" E

12' SIDEWALK AND UTILITY EASEMENT  
(D.B. 889, PAGE 713)

SLOPE MAINTENANCE, EROSION CONTROL  
AND DRAINAGE EASEMENT  
(D.B. 889, PAGE 713, D.B. 889, PAGE 713)

15' SANITARY SEWER EASEMENT  
(D.B. 889, PAGE 718)

GREEN SPACE EASEMENT  
(D.B.1893 PAGE 1828)

S 69°07'11" E

379.07'

20' STORM SEWER EASEMENT  
(D.B. 1274, PAGE 1451)

PARCEL AREA=  
75,455<sup>sq</sup> OR 1.7322 ACRES

15' STORM SEWER EASEMENT  
(D.B. 1274, PAGE 1451)

10' UTILITY EASEMENT  
(D.B. 1274, PAGE 1451)

S 21°12'28" W

199.09'

CURVE DATA  
 $\Delta = 90^{\circ}31'03''$   
 $R = 50.00'$   
 $A = 78.99'$   
 $T = 50.45'$

12' SIDEWALK AND UTILITY EASEMENT  
(D.B. 889, PAGE 713)

N 69°59'59" W

15' STORM SEWER EASEMENT  
(D.B. 1274, PAGE 1451)

324.57'

GEN DRIVE, R  
NORFOLK  
WELLING  
NOKESVILLE ROAD  
ROUTE 28

OWNER: